

DESIGN GUIDELINES



VERSION 6.0 AS AT DEC 2021



Artist impression

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THESE DESIGN GUIDELINES HAVE BEEN PREPARED TO ASSIST PURCHASERS AT THE PATCH AND THEIR BUILDERS/DESIGNERS TO CONSTRUCT WELL DESIGNED, HIGH QUALITY HOMES TO CREATE A PREMIUM COMMUNITY THAT IS CONSISTENT IN ITS VISION AND WELCOMING TO ITS RESIDENTS.

1. VISION

A great design will help you add value to your home, increase sustainability, improve your quality of life and foster a high standard of presentation for The Patch. These guidelines are not intended to limit design but help ensure that The Patch presents with harmonious streetscapes and creating a community that all residents can be proud of.

The key design elements that purchasers and home builders should address include:

- Siting and orientation
- Architectural style and built form
- Fencing and landscaping
- Sustainability

2. PROCESS

All homes built at The Patch must be approved by the Design Assessment Panel (DAP) prior to lodging for any Building Permit or commencing any works on site.

STEP 1 – PURCHASE YOUR LAND

Once you've purchased your preferred lot from Jinding, you can view all the relevant documentation you and your builder will need to build your new home via The Patch Buyer's Portal.

STEP 2 – DESIGN YOUR HOME

Your builder will work with you to design your home to comply with The Patch Design Guidelines. Your architect, builder and/or designer will also need to take into considerations details on the Building Envelope Plans or Plan of Subdivision. You should also comply with any applicable building codes, council bylaws, and other local authority requirements.

STEP 3 – SUBMIT YOUR PLANS FOR APPROVAL

When you are ready to make your submission to the DAP, you can lodge your house plans, colour schedules and landscape plans via The Patch Design Portal <https://portal.thepatchwollert.com.au>. Ensure your submission is in pdf form and contains all the required information detailed in the checklist (page 12). Generally, your design will be reviewed within 10 working days of your initial submission provided that all documents are submitted correctly.

In some cases, plans may need to be resubmitted. Specific feedback on your design will be provided to help facilitate approval if this occurs. Should a resubmission be required, please ensure that any alterations are highlighted for ease of processing.

Once your design is assessed and approved, you and your builder will be issued with stamped, approved set of plans.

STEP 4 – BUILDING PERMIT APPLICATION BY YOUR BUILDER

Once you've received your design approval, a building permit must be obtained from either the City of Whittlesea or a licensed building surveyor. Your registered building surveyor will require your home design to comply with any legal or statutory requirements on the Plan of Subdivision and will require evidence of your Developer Approval to process. If any further design modifications are made, you will be required to resubmit plans to the DAP for reassessment.

STEP 5 – CONSTRUCTION

Once received, a Building Permit allows you to commence construction. In accordance with the Contract of Sale, construction of your home must commence within 6 months of the settlement of your lot. Completion of your home including garage, driveway, fencing and retaining walls should occur within 18 months of settlement.

STEP 6 - CERTIFICATE OF OCCUPANCY

Certificate of Occupancy certifies that a home can be lived in. Your builder will typically look after this on your behalf. After receiving the Certificate of Occupancy, all front gardens must be landscaped in accordance with these guidelines within 6 months. Fencing must also be constructed within 3 months of the issue of the Certificate of Occupancy.

A note for your builders, is that all kerb and sidewalk rectification works must be completed within 3 months of receiving your Certificate of Occupancy. Your driveway and crossover must be completed before you move into your new home. We want to ensure that the streetscapes at The Patch are well maintained for all residents to enjoy.

STEP 7 - DEVELOPER APPROVAL SMALL LOT HOUSING CODE (SLHC)

The Patch is home to a diverse range of lot sizes, some of which are subject to the requirements of the Small Lot Housing Code (SLHC). SLHC applies to lots that provide a single dwelling and have an area less than 300m². The Patch design guidelines are to be applied in conjunction with the SLHC.

The DAP will not assess proposals against requirements of the SLHC.

Homes must be approved by the Design Assessment Panel (DAP) prior to lodging for any building permit or commencing any construction works. The DAP is appointed by Jinding to oversee and implement the objectives of the Design Guidelines.

The Design guidelines may be changed from time to time at the DAP's discretion. Applications will be assessed against the current version of the Design Guidelines.

Interpretation and application of these Design Guidelines is at the sole discretion of the DAP. The DAP's decisions are final. No claims shall be made to the Developer, DAP or their representatives with respect to the decisions made.

The DAP reserves the right to vary or waive the requirements of the Design Guidelines if it believes that a proposal (or an element of a proposal) that is not strictly in accordance with the wording of the Design Guidelines nonetheless makes a positive contribution to the overall objectives of the built form and/or streetscape at The Patch.

Allowance has been made for two submissions for each Design Approval application. Each additional submission may incur an administration fee, at the sole discretion of the DAP. New submissions for a lot that has already had an application approved may also incur an administration fee.

3. HOME STYLE GUIDE

Homes at The Patch are best described as contemporary in style. This will be achieved through simple forms and well-proportioned façade elements combined with the controlled use of architectural styles, materials and colours selected to reflect the home location.

Period styles such as Edwardian and Georgian style, and period detailing such as quoins, fretwork, lace work etc. are not generally permitted. There is however scope for the use of these or similar elements as part of a contemporary design. These will be assessed at the discretion of the DAP.

4. LOT PLANNING (OR SITING THE HOME)

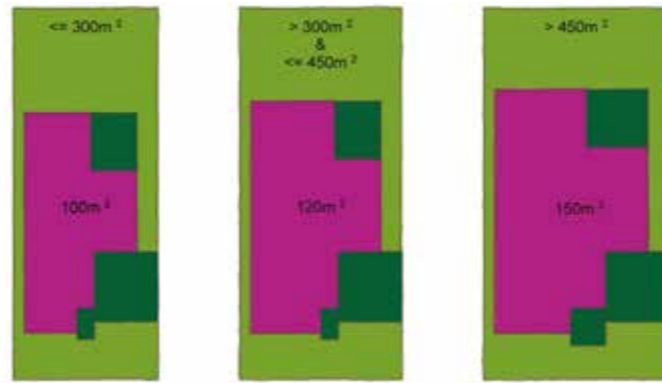
A. LOT LAYOUT

Only one dwelling is permitted per lot, unless otherwise provided on the relevant Plan of Subdivision.

To site each home, building envelopes have been prepared for all lots at The Patch where the Small Lot Housing Code is not applied. The dwelling and garage should be contained within the building envelope.

The dwelling size must comply with the following minimum dwelling size, excluding garage and all enclosed areas, unless otherwise approved by the DAP.

LOT SIZE	MIN. DWELLING SIZE
Less than (or equal to) 300m ²	100m ²
Greater than 300m ² & less than (or equal to) 450m ²	120m ²
Greater than 450m ²	150m ²

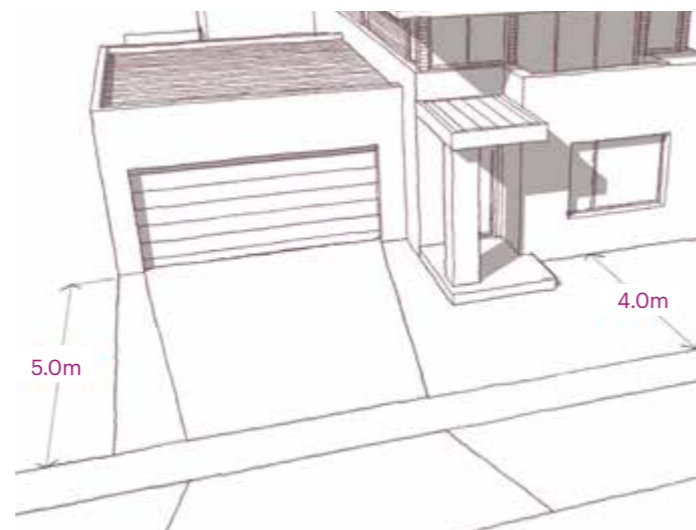


Homes must have at least one habitable room window (living or bedroom) that addresses the primary street frontage. On Corner Lots, the dwelling must have at least one habitable room window that addresses the secondary street frontage.

Habitable rooms must have vertically proportioned openings, windows, framing and doors (where height exceeds width) to help provide better passive surveillance to the public realm.

B. BUILDING SETBACKS

Dwellings must be set back a minimum of 4.0m and a maximum of 5.0m from the front boundary unless the small lot housing code applies, or the Building Envelope allows. Garages must generally be set back a minimum of 5.0m from the front boundary and 0.5m minimum from the main building line.



Front entries should provide a sense of address, entry features including balconies, verandahs, open porches, covered walkways and porticos that have a maximum height of less than 3.6m above the ground level may encroach into the front setback by no more than 1.5m.

C. SIDE SETBACKS

Each dwelling must have at least one side setback of a minimum of 1.0m. Generally, dwellings on corner lots must be setback a minimum of 2.0m from the secondary street frontage.

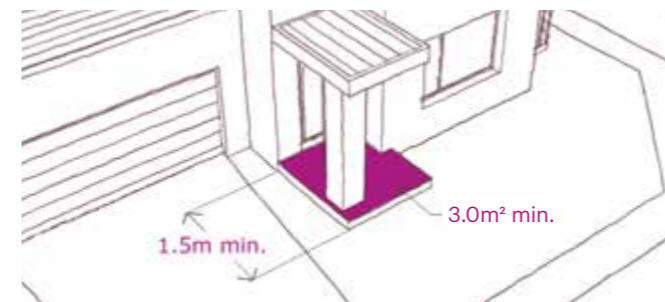
Additional features listed below may encroach 500mm into the side and rear setback distances.

- porches and verandahs
- eaves, fascia and gutters
- screens, but only to the extent needed to protect a neighbouring property from a direct view
- domestic fuel tanks and water tanks
- heating and cooling equipment and other services.

These minimum prescribed setbacks should also be considered in your landscaping plan to allow plenty of space for roots and branches to spread.

D. MASSING AND ARTICULATION

- Each dwelling must incorporate a prominent front entry point that is readily visible from the primary street frontage and complementary to the overall dwelling design
- The front entry point may take the form of a portico, porch, verandah or other feature to the satisfaction of the DAP, that has:
 - A minimum covered area of 3.0m²
 - A minimum depth of 1.5m



- Rooms fronting the public realm must have a minimum ground floor ceiling height of 2500mm
- Two storey dwellings must incorporate elements such as balconies and/or protrusions to articulate the front façade

E. FAÇADE, MATERIALS AND FINISHES

Home facades on lots 12.0m or wider must incorporate 3 contrasting materials or colours. Home facades on lots less than 12.0m should provide 2 contrasting materials and/or colour types. Acceptable primary colours must be no greater than 70% of the front façade (not including the garage door or windows).

Materials used on the front façade must extend to the side elevation for a minimum of 1.5m. Additional requirements apply to Corner Lots. See Articulation on corner lots for details.

Design submissions should include samples or images of the proposed colours, finishes and materials for all roofing, rainwater fixtures (gutters, downpipes, fascia etc.), external walls, window frames, garage doors and driveways.

Colour schemes should adopt a palette of muted neutral tones. Front façade materials may include stone, masonry blocks, weatherboard (painted), lightweight cladding, timber cladding, render or other materials that are approved by the DAP.

Dwellings should avoid aluminium sliding windows and doors, exposed stumps, lightweight infill panels above doors, windows or garage doors. External glazing that is visible from the public realm must not contain leadlight, stained glass, reflective glass or patterned film. Roll down security shutters must not be visible from the public realm.

Aluminium sliding windows and doors are unlikely to be approved if visible from the public realm, unless they are manufactured from commercial or semi commercial sections.

No dwelling is to be built with any exposed stumps.

The front facade (and secondary frontages) must not include recessed lightweight infill panels above doors, windows or garage doors.

Roll down security shutters must not be visible from the public realm.

Homes should avoid replicating identical or similar facades to another dwelling within 4 lots in either direction on the same side of the street or opposite side of the street. Should similar façade design be submitted for lots in proximity, consent will be managed at the discretion of the DAP.

F. ARTICULATION ON CORNER LOTS

Homes on corner lots must address the secondary frontage by incorporating the same or similar design features to those used on the primary frontage. This may include:

- Windows with matching head heights
- Highlight materials and finishes that wrap around from the primary facade
- Pergolas, porticos, porches, verandahs and balconies
- Roof elements, such as feature gables
- Other treatments to the satisfaction of the DAP

Materials used on the front façade must extend to the secondary frontage for a minimum of 3.0m. Blank walls forward of the Return Fence are not permitted. Corner features must be forward of the return fence and visible from the public realm.



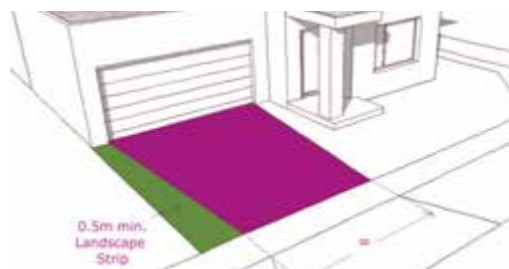
If the side wall of the dwellings first level is facing a side street, it must not be constructed less than 900mm in height when measured from the natural ground level.

Lots with a side boundary that abuts open space must contain a double storey dwelling and should include features that maximise passive surveillance of the neighbouring green space such as large windows or balconies. Fencing forward of the return fence and on the boundary of the open space should have a minimum 25% transparency and a maximum height of 1.5m. Fencing on the rest of the abutting boundary should follow requirements for corner fences. For details on materials required see Fencing section.

In addition to the above requirements, dwellings on Corner Lots must include eaves to all sides facing the public realm, unless otherwise approved by the DAP.

G. GARAGES AND DRIVEWAYS

- Garages must be integrated into the overall form of the dwelling
- Garages must be enclosed. Carports and open sided garages are not allowed
- Lots with a frontage of 12.5m or more must provide a double garage
- Lots with a frontage of 10m or less must provide a single garage if the crossover is located on the front boundary. Double garages will not be approved
- The width of the garage door must not exceed 40% of the width of the primary lot frontage
- Garage doors that are visible from the public realm must be either a panel lift, sectional overhead, or other similar type. Roller doors are not permitted if they are visible from the public realm
- Garages must be stepped back a minimum of 0.5m from the wall of the dwelling. This is measured from the front building line, not from verandas or porches etc.
- Each lot must have a maximum of one cross-over per frontage
- Driveways must be constructed from a hard surface material such as exposed aggregate concrete, coloured-through concrete, slate, natural stone, asphalt, or brick
- Driveway colours should be muted. Plain (uncoloured) and painted concrete driveways are not permitted
- Where the garage is located on the allotment boundary, a 500mm minimum landscaped garden bed is required between the driveway and side boundary
- The driveway must not exceed the width of the garage door, where they meet the garage, and must taper to the width of the crossover at the boundary
- The driveway must be constructed prior to the occupancy of the dwelling



H. RETAINING WALLS

The maximum height of any retaining wall is generally 1.0m. If a higher wall is required, more than one wall must be used in conjunction with graded slopes, battering and other landscape treatments to soften the appearance of the change in levels. Council approval may be required for retaining walls. Owners should make their own enquiry.

- Thought should also be given to providing a landscaping strip of approximately 0.2m in front of the retaining wall to soften the height
- Retaining walls visible from the public realm must be constructed from a material and finish to complement the house, to the satisfaction of the DAP
- Acceptable finishes may include:
 - Stone
 - Face or rendered masonry
 - Concrete sleepers with an appropriate applied finish and galvanised support columns
- Timber sleepers are not permitted
- The extent, height and finish of all proposed retaining walls must be included in any application for Design Approval
- Refer to Council for additional retaining wall requirements

I. ROOFING AND EAVES

A variety of roofing forms and styles is encouraged.

Articulated roof shapes with elements such as hips, gables, Dutch gables and/or dormer windows are preferred.

Eaves provide shade in the summer months and allow the winter sun to penetrate the home during winter. Greater energy efficiency can generally be achieved by constructing eaves, making the house more sustainable and providing the opportunity for energy savings.

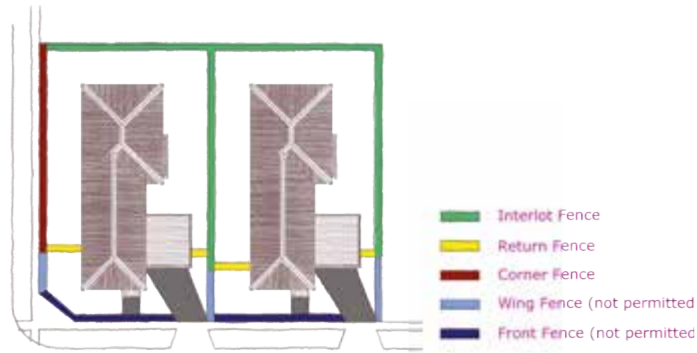
Curved, or other innovative roof designs that incorporate some flat elements will be assessed on their design merit.

- Hip or gable end roofs must have a roof pitch of at least 22 degrees, steeper pitches are also encouraged on homes with a narrow frontage
- Single storey homes with a pitched roof must include a minimum eaves width of 450mm to all sides of the home that face a street or public open space, the eaves must return along the side wall for at least 3.0m
- Double storey homes with a pitched roof must include eaves of 450mm to all sides of the dwelling on the upper level
- Walls constructed on side boundaries (zero lot line) will be exempt from the eaves requirements

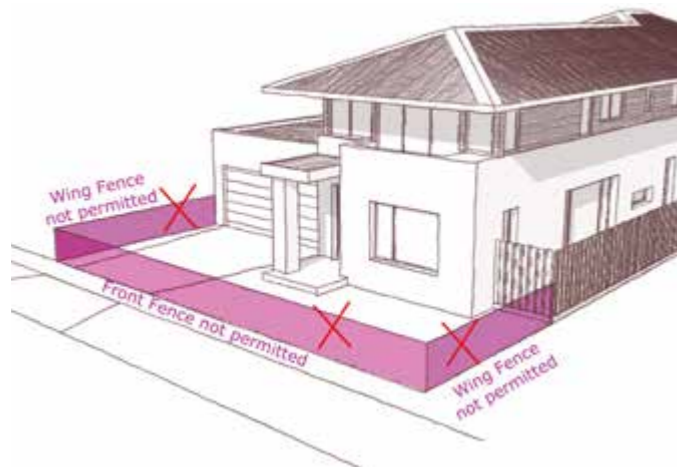
The roof must be finished in one of the following materials and the colour must be complementary to the design of the home. Acceptable materials must be matte finish and not reflective, such as pre-finished metal roof sheeting and low profile roof tiles. Galvanized, zincalume or unfinished roof materials and rainwater fixtures are not permitted.

J. FENCING

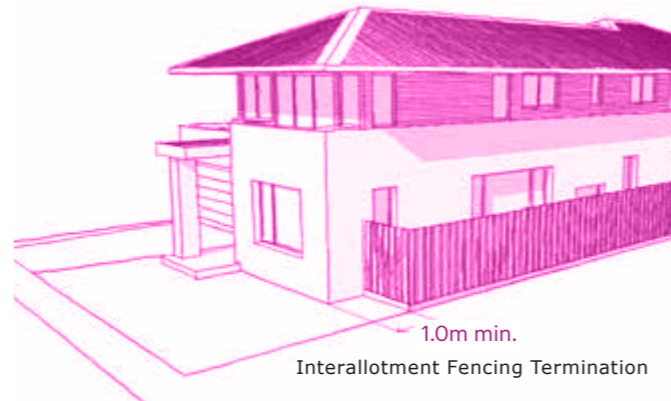
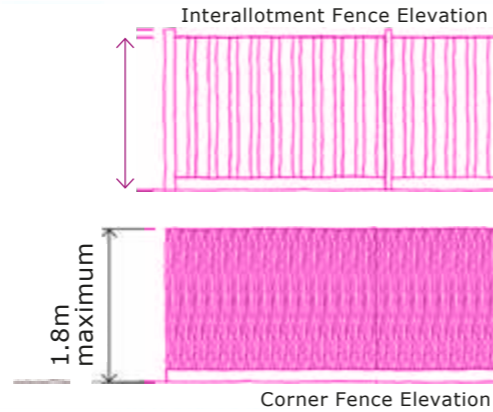
- Construction of fencing is completed by the purchaser, unless otherwise specified



- Front lot fencing and wing fencing is not permitted. The DAP may consider front lot fencing for integrated housing sites only



- Interallotment fencing must be in pinelap constructed with:
 - Exposed posts and railings
 - A minimum height of 1.8m and a maximum height of 2.0m above ground level.
 - 150mm timber bottom plinth
 - Terminated a minimum of 1m behind the closest front wall of the dwelling, unless it is on the rear boundary of an adjoining lot
 - Terminated by returning to meet the closest wall of the dwelling (Return Fence)



- Corner fencing or fencing to the public realm boundary other than the frontage corner must be pinelap fencing detail.
- Pinelap fencing must be constructed with:
 - A maximum height of 1.8m
 - 150mm timber bottom plinth
 - For corner fencing- terminated a minimum of 3.0m behind the closest front wall of the dwelling or 1.0m behind any corner treatment (whichever is greater)
 - Terminated by returning to meet the closest wall of the dwelling
- Return fences must be constructed with materials, finishes and heights to match or complement the adjacent fence
- Any gates in a fence must match or complement the fence in terms of materials and finishes

K. LETTERBOXES AND ANCILLARY

- Letterboxes must complement the home design in terms of materials, colours and style
- Single post supported letterboxes will not be approved
- Dwelling services such as clothes lines, satellite dishes, antennae or external receivers must be located to the rear of the building and not readily visible from the public realm
- Heating and cooling units must be located towards the rear of the dwelling and not readily visible from the public realm. If located on the roof the units must be positioned below the ridge line, towards the rear of the roof and coloured to match the roof as far as practical
- Photovoltaic cells, solar panels and the like may be located to maximise their efficiency if they integrate with the roof form
- Any outbuildings less than 10.0m² should not be readily visible from the public realm
- Any outbuildings greater than 10.0m² must be constructed so that the external appearance matches the main dwelling in colours, material and style
 - Have a maximum height of 3.6m at the ridgeline, measured from natural ground level
 - Have a maximum height of any perimeter wall, excluding the gable infill, of 2.5m, measured from the natural ground level
- Ancillary items such as rubbish bins, recycling bins, washing lines, hot water systems, any water storage tanks, swimming pools, spa pumps or external plumbing are to be stored or located away from public view
- Storage of trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles are to be located out of public view when parked or stored on the lot
- Dwellings should be connected to all available infrastructure such as the National Broadband Network and the recycled water network

L. LANDSCAPING

A landscape plan will need to be included in your design submission.

- No more than 50% of the front garden is to comprise hard paved surfaces
- The garden must contain free draining surfaces such as grass, ground covers, river pebbles or Lilydale toppings, and garden beds containing trees, shrubs or tufting plants. Surfaces such as scoria or quartz should be avoided
- Lots that are 12.5m or wider should have at least one advanced evergreen tree and one deciduous tree, both with an installation height of 2.0m and planted between the front building line and street boundary
- Lots that are less than 12.5m wide should have at least one tree with a minimum installation height of 2.0m, planted between the front building line and street boundary
- All garden bed areas within the front yard must be edged using brick, timber, steel, or spaded edges and be planted with:
 - A minimum of 10 medium to large shrubs (from 200mm pot size at installation)
 - A minimum of 15 smaller shrubs (from 150mm pot size at installation)
 - A minimum of 20 ground cover plans (from 150mm pot size at installation)
 - Garden beds should be a minimum of 500mm wide and planted densely to ensure good coverage of growth. Garden beds over 1.0m offer opportunities for larger shrubs to provide screening and smaller plants adding layers in front
 - Garden beds should be mulched to help keep the soil moist. Use pine bark or other organic matter, or decorative pebbles

Any landscape areas visible from the street or open space must always be maintained, kept neat and tidy with no excessive weed growth. This includes nature strips which are the responsibility of the lot owner.

5. ENVIRONMENTAL SUSTAINABILITY

A. LIVEABILITY CONSIDERATIONS

Applicants are encouraged to submit designs that are environmentally responsible. The orientation of your lot will determine the best siting of the house on the lot. A building's orientation plays a large part in achieving the optimum solar access for your home during winter. Lots on the north side of a street will have sunny backyards – good for private outdoor living. Lots on the south side of a street will have sunny front yards – good for show piece gardens. Lots facing east-west will have sunny side yards – these houses should be sited to leave the largest possible outdoor living space along the northern boundary.

Dwellings can become more liveable by considering the orientation of rooms and windows, shading of windows and walls, ceiling heights, sustainable building materials, cross flow ventilation, covered open spaces, insulation, and water efficient fixtures. Eave design can act as excellent shading devices during warmer months. Implementing these features can also result into substantial financial savings for the homeowner. Double storey homes must respect the privacy of neighbouring dwellings, including potential overshadowing issues that may arise as a result of siting choices. It is the responsibility of applicants with double storey proposals to ensure their design has demonstrated these factors and to receive approval from the relevant authority and/or building surveyor prior to construction.

B. SOLAR HEATING PANELS

Solar heating panels must be located on roof planes preferably not visible from the public realm. The panels should follow the roof pitch. Where visible from public, solar panels will be assessed on their merits with regard to scale, form and colour.

C. RAINWATER TANKS

Rainwater storage is encouraged. The rainwater tank and all accessories must not be located in front of the dwelling or be visible from the street and public spaces. The rainwater tank and all accessories must be coloured to match the dwelling. To help calculate the size of water storage that you may require please contact the Department of Sustainability and Environment for appropriate storage requirements in relation to the collection area provided.

D. RECYCLED WATER

Recycled water will be available for non-drinking purposes such as toilet flushing and garden usage. To reduce the consumption of potable water, residents are required to connect all toilets and two garden taps (front and rear) to the future recycled water system.

E. ENERGY RATINGS

It is the applicants' responsibility when building a home to comply with Victoria's energy rating requirements. Dwelling designs should be assessed by a licensed energy rating company, and they in turn will make recommendations regarding insulation and other resource saving measures. Dwellings must achieve the minimum standard as currently legislated.

6. CREATING GREAT NEIGHBOURS

The Patch is designed for an idyllic lifestyle. At Jinding, we've created a community that is beautifully connected through green parks, walking paths and trails, while making the most of the neighbouring wetlands and walkable neighbourhoods.

This guide has been created to help all new residents settle into their new community and to provide some tips to create a space where all feel welcomed.

A. PARKING

Most land lots and homes have been designed to accommodate two vehicles. Vehicles are not permitted in your front yard, on footpaths, or on vacant land. Driveways can be used to park cars but are not intended for the long-term storage of boats, caravans, or containers. These are also not permitted to be parked on the street.

B. GARDENS

To keep The Patch looking great, a landscape design standard has been created. Front gardens should be kept tidy with your lawn, including verges, kept mown and free of weeds. Garden beds and plants should also be maintained regularly.

C. WASTE

Rubbish bins are to be kept behind fences or away from public view, except on the day of rubbish collection. Once your rubbish has been collected, please ensure prompt collection of your bins and that they are once again stored out of public.

D. LAUNDRY

Clothes drying facilities must be located away from, or screened, from public view.

E. NOISE

We're a community of friends and neighbours. In the interest of positive neighbour relations, please consider those around you and always keep noise to a respectable level.

F. WINDOW FITTINGS

Homes should be fitted with curtains, blinds, or shutters. Please ensure visually prominent security screens (e.g. diamond grills), or vertical blinds are not installed on doors or windows facing any street frontage.

G. FENCING

Fencing is the responsibility of the property owners. If you share a fence with a neighbour, it's a good idea to get in contact with them to discuss your requirements and make arrangements that suit both households. Due to privacy laws, Jinding can not disclose purchaser details, but you can request this information from the City of Whittlesea: eservice.whittlesea.vic.gov.au/eservice/dialog/crm/selectCategory.do?key_num=2311

Throughout the construction of your land lots, Jinding will host 'welcome events' which are a great opportunity to meet your neighbours. Another alternative, you can agree to pass on your details to your neighbours through the sales team or customer relations, and we can provide your details. Please contact Customer Relations at customerrelations@jinding.com.au with your best contact details and the lots you wish to get in contact with.

7. CONSTRUCTION OBLIGATIONS

Maintaining appealing streetscapes is essential at The Patch, even during the construction phase. We ask that you consider the following information and ensure your builder is also aware of these expectations so that The Patch always presents well and is welcoming to its visitors.

We thank you in advance for your cooperation.

A. LOT MAINTENANCE

While waiting for construction to commence on your land lot, you must not allow any rubbish including site excavations and building materials to accumulate. Please maintain the lot to avoid excessive growth of grass or weeds.

The purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserves or any waterways.

B. CONSTRUCTION

Please ensure your building site is always clean and safe. Your builder should provide a secure enclosure to contain rubbish for the duration of your construction period. Bins and site facilities should not impede on neighbouring properties, roads, footpaths, or public spaces.

C. COUNCIL ASSETS

Please ensure the council land directly surrounding your lot is not damaged during your home construction.

The road and verge in front of your lot including the concrete footpath, and services such as water meters, telecommunication boxes and electrical pillars are assets owned by the City of Whittlesea or service authorities.

These assets cannot be altered without the correct approval from Council or the relevant service authority. Council inspects these assets at the completion of construction, when assessing the Certificate of Occupancy to ensure no damage or alteration has occurred.

It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.

Please also protect any street trees, nature strips and kerbs during the building works.



DESIGN APPROVAL CHECKLIST

The design portal (portal.thepatchwollert.com.au) will prompt you to enter all the information required to make an application for design approval at The Patch.

The information required to lodge an application includes:

- Lot number and street name
- Owner's name, address, and contact details
- Builder/Designer's name, address, and contact details
- Applicant's name, address and contact details, if the applicant is not any of the above parties

The design information listed in Section 1.3, Submission Requirements, including:

- Site Plan
- Floor Plan(s)
- Elevations
- Landscape Plan
- Printed Colour Board with materials/ colour/ finishes samples

Please note that incomplete or partial applications will be returned without assessment.

SITEPLAN CHECKLIST

- North point
- Scale 1:200, with all dimensions
- Lot boundaries and any easements on title
- Proposed building footprint and setbacks (from all boundaries)
- Contours (at 0.5m intervals or less) or spot levels
- Location of driveway and crossover and front path
- Other external structures (including pools and spas)

All ancillary items including but not limited to:

- Water tanks and storage units
- Solar panels
- Television antennae
- Air conditioning units
- Evaporative cooling units
- Heating units
- Bin storage area
- Sheds and any out buildings

ELEVATIONS

- North Point
- Scale 1:100, with all dimensions

SECTIONS

- Scale (1:100/1:200, with all dimensions)
- Natural ground level
- Finished ground level
- Cut and fill levels
- Ceiling heights
- Building heights relative to ground level
- Materials and finishes
- Roof pitch and materials

MATERIALS & FINISHES SCHEDULE

- All building façade materials and colours
- All roof colours and materials
- All fencing colours and finishes

LANDSCAPE PLAN

- Driveway materials and finish
- Fencing line, materials and colours
- Scale 1:100, with all dimensions
- Planting locations and species
- Water connection
- Water tank locations
- Letterbox design and location

RETAINING WALLS

For lots with greater than 1.5m land fall

- Scale 1:100, with all dimensions
- Sectional drawing that explains the extent of proposed cut and fill location, and height of proposed retaining wall

NGD DESIGN

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