

PLAN OF SUBDIVISION

LV USE ONLY
EDITION

PLAN NUMBER
PS 838328R

LOCATION OF LAND

PARISH: KALKALLO
TOWNSHIP: -
SECTION: -
CROWN ALLOTMENT: 4 (PART) & 5 (PART)
CROWN PORTION: -
TITLE REFERENCES: Vol. Fol.
LAST PLAN REFERENCE/S: LOT C ON PS838327T
POSTAL ADDRESS: 75 BODYCOATS ROAD
(At time of subdivision) WOLLERT, VIC. 3750
MGA2020 Co-ordinates E 325 090
(of approx centre of N 5 838 310
land in plan) ZONE 55

COUNCIL NAME: WHITTLESEA CITY COUNCIL

VESTING OF ROADS AND/OR RESERVES

NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON	NOTATIONS
ROAD R1	WHITTLESEA CITY COUNCIL	
<p>DEPTH LIMITATION DOES NOT APPLY</p> <p>STAGING This is/is not a staged subdivision. Planning permit No. 717154</p> <p>SURVEY. THIS PLAN IS/IS NOT BASED ON SURVEY. THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s): 10, 11, 99, 107, 108 & WOLLERT PM 43</p> <p>IN PROCLAIMED SURVEY AREA No. 74</p> <p>THE PATCH - 4 1.315ha</p> <p style="text-align: right;">34 LOTS</p>		

EASEMENT INFORMATION

LEGEND A-Appurtenant Easement E-Encumbering Easement R-Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE	2	PS 838325X	WHITTLESEA CITY COUNCIL
E-2	SEWERAGE	SEE DIAG.	PS 838325X	YARRA VALLEY WATER CORPORATION
E-3	DRAINAGE	SEE DIAG.	PS 838325X	WHITTLESEA CITY COUNCIL
E-3	SEWERAGE	SEE DIAG.	PS 838325X	YARRA VALLEY WATER CORPORATION
E-4	DRAINAGE	3	PS 838326V	WHITTLESEA CITY COUNCIL
E-4	SEWERAGE	3	PS 838326V	YARRA VALLEY WATER CORPORATION
E-5	SEWERAGE	SEE DIAG.	PS 838326V	YARRA VALLEY WATER CORPORATION
E-6	DRAINAGE	3	PS 838327T	WHITTLESEA CITY COUNCIL
E-6	SEWERAGE	3	PS 838327T	YARRA VALLEY WATER CORPORATION

80171PS-009D.DWG

SURVEYOR REF: 80171ps-009d

ORIGINAL SHEET
SIZE: A3

SHEET 1 OF 6



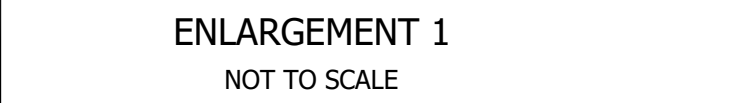
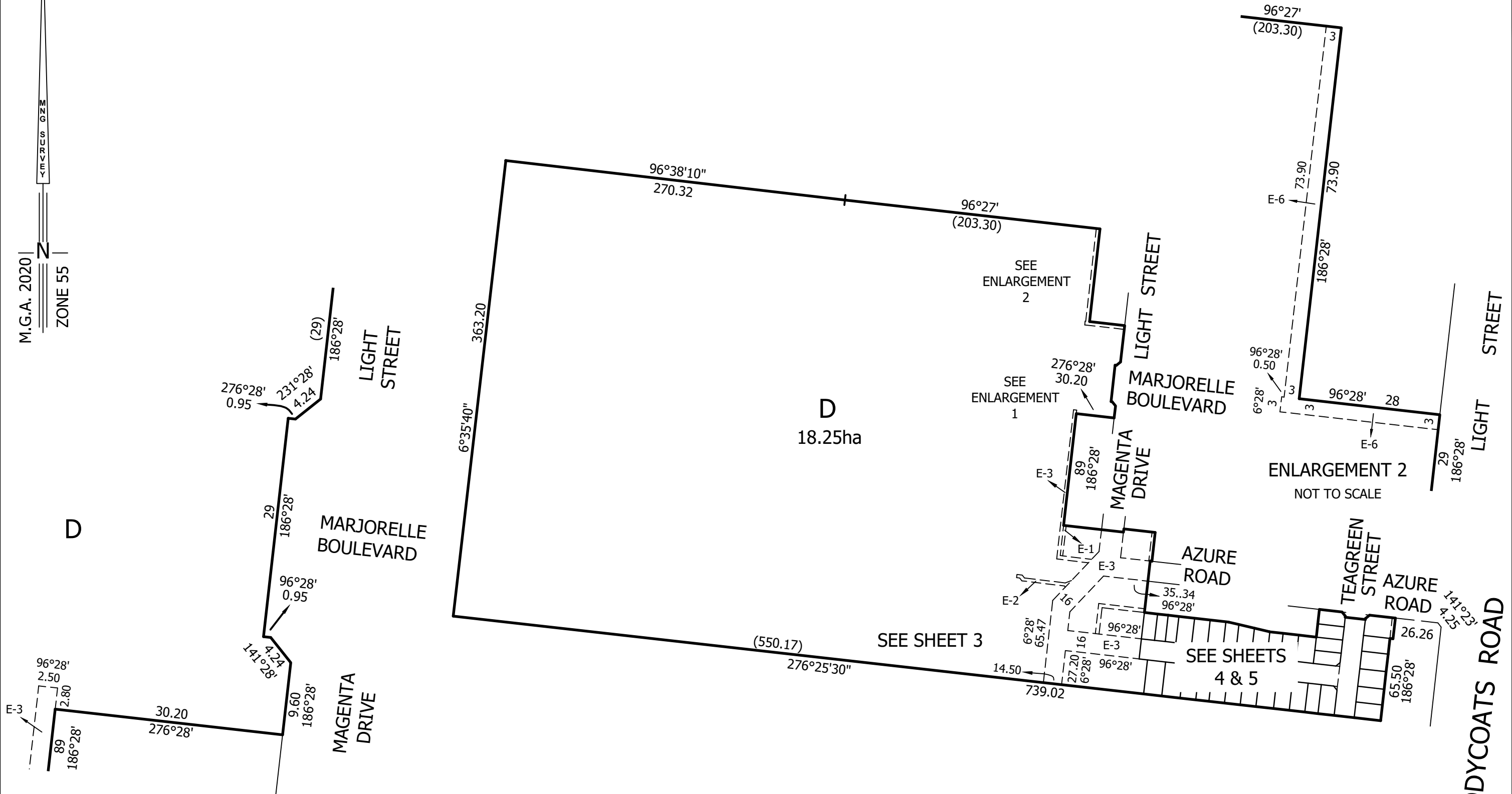
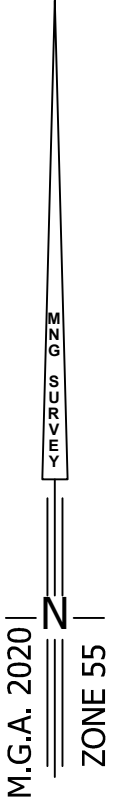
MC MULLEN NOLAN GROUP
31/574 Plummer Street
Port Melbourne VIC 3207
Tel: (03) 7002 2200
Fax: (08) 7002 2299
Email: info@mngsurvey.com.au

MATTHEW DUNN

VERSION 9

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SCALE 1:3000	30 0 30 60 90 120 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE A3	SHEET 2
MATTHEW DUNN	VERSION 9		

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MATTHEW DUNN	VERSION 9		

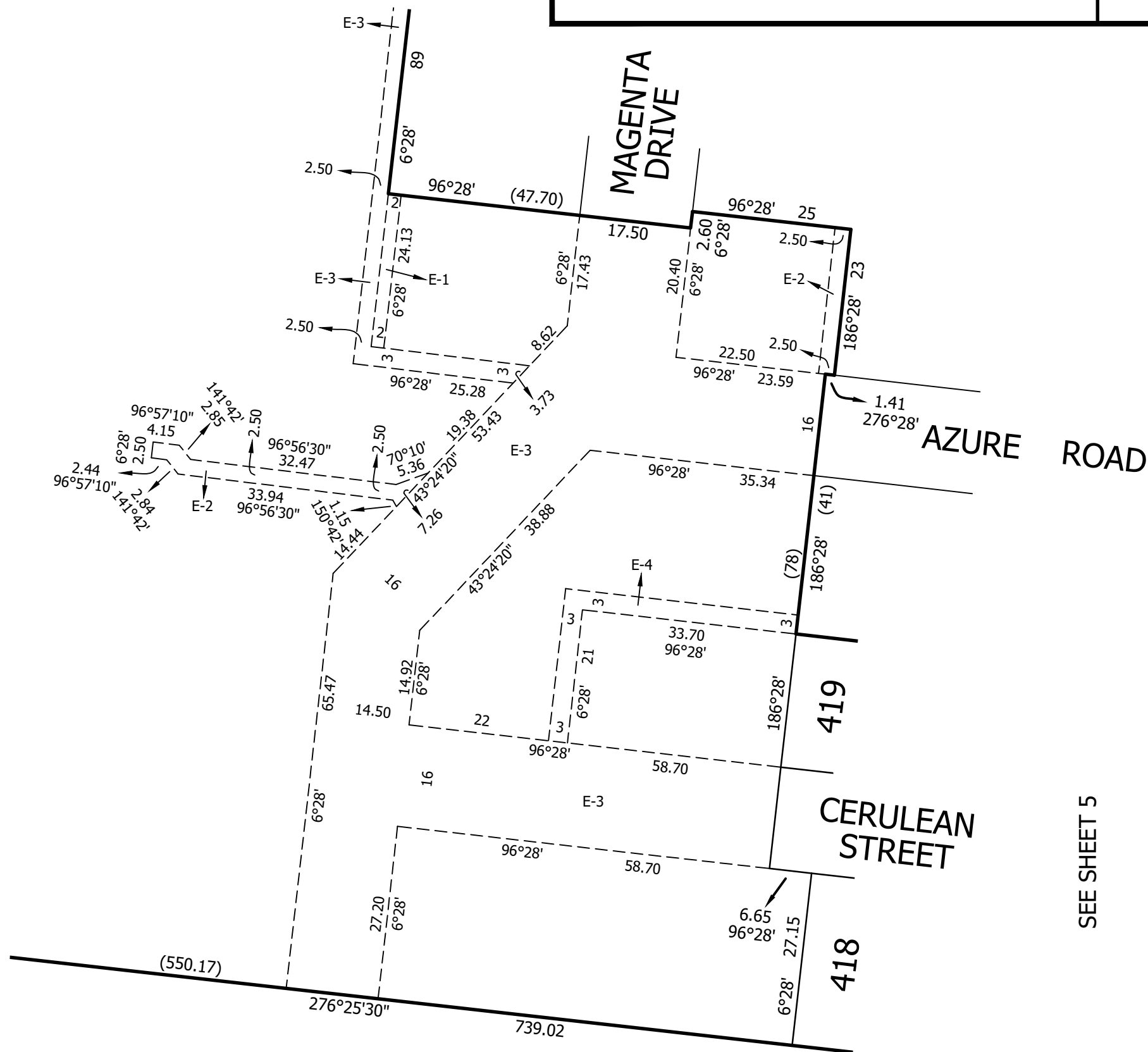
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PLAN OF SUBDIVISION

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M.G.A. 2020
N
ZONE 55

D
SEE SHEET 2



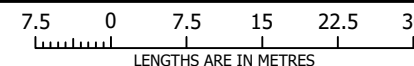
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SCALE
1:750



ORIGINAL SHEET
SIZE A3

SHEET 3

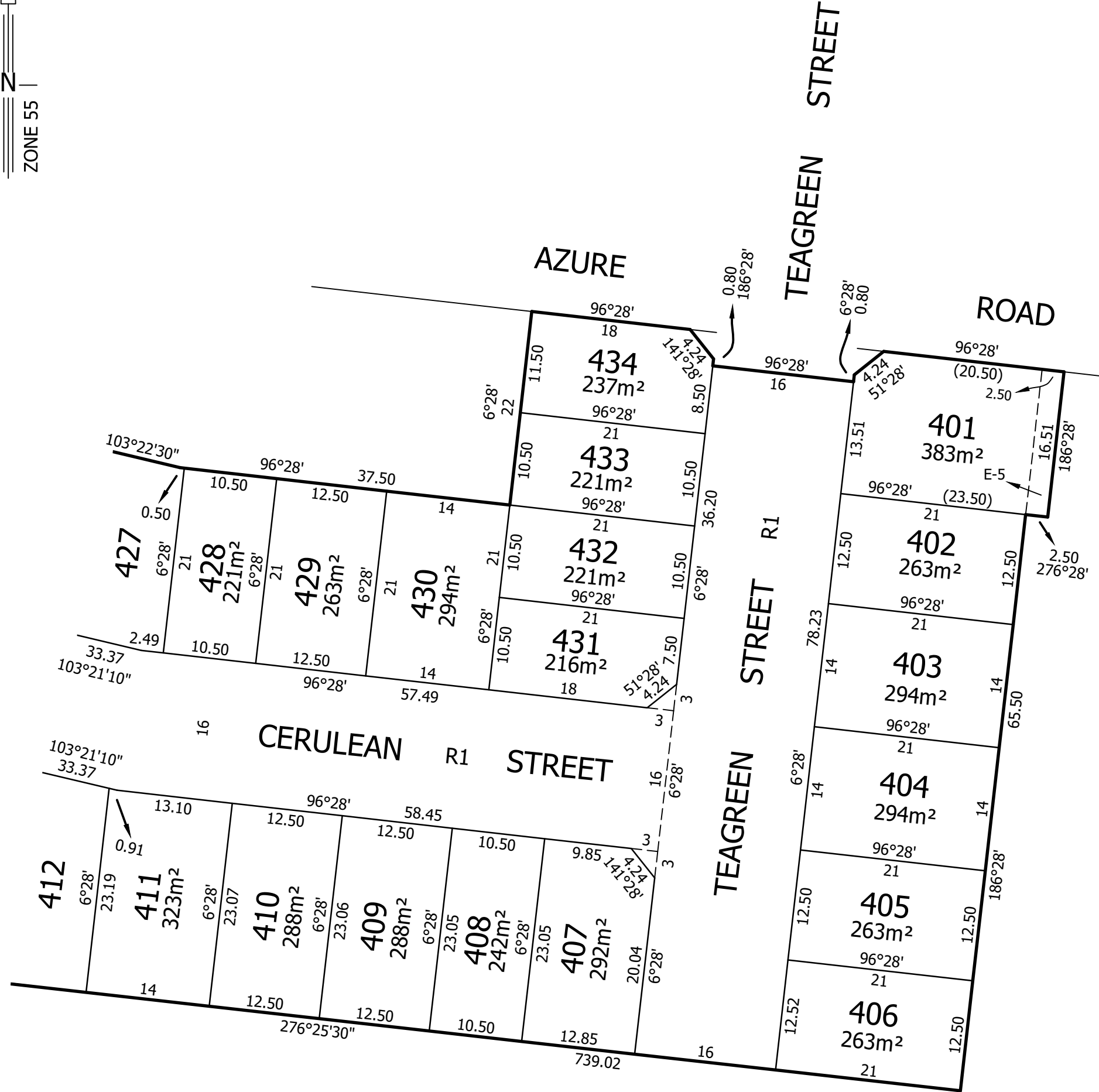
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| ZONE 55 |



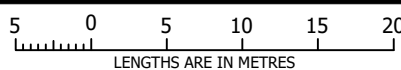
SEE SHEET 5



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SCALE
1:500



ORIGINAL SHEET
SIZE: A3

SHEET 4

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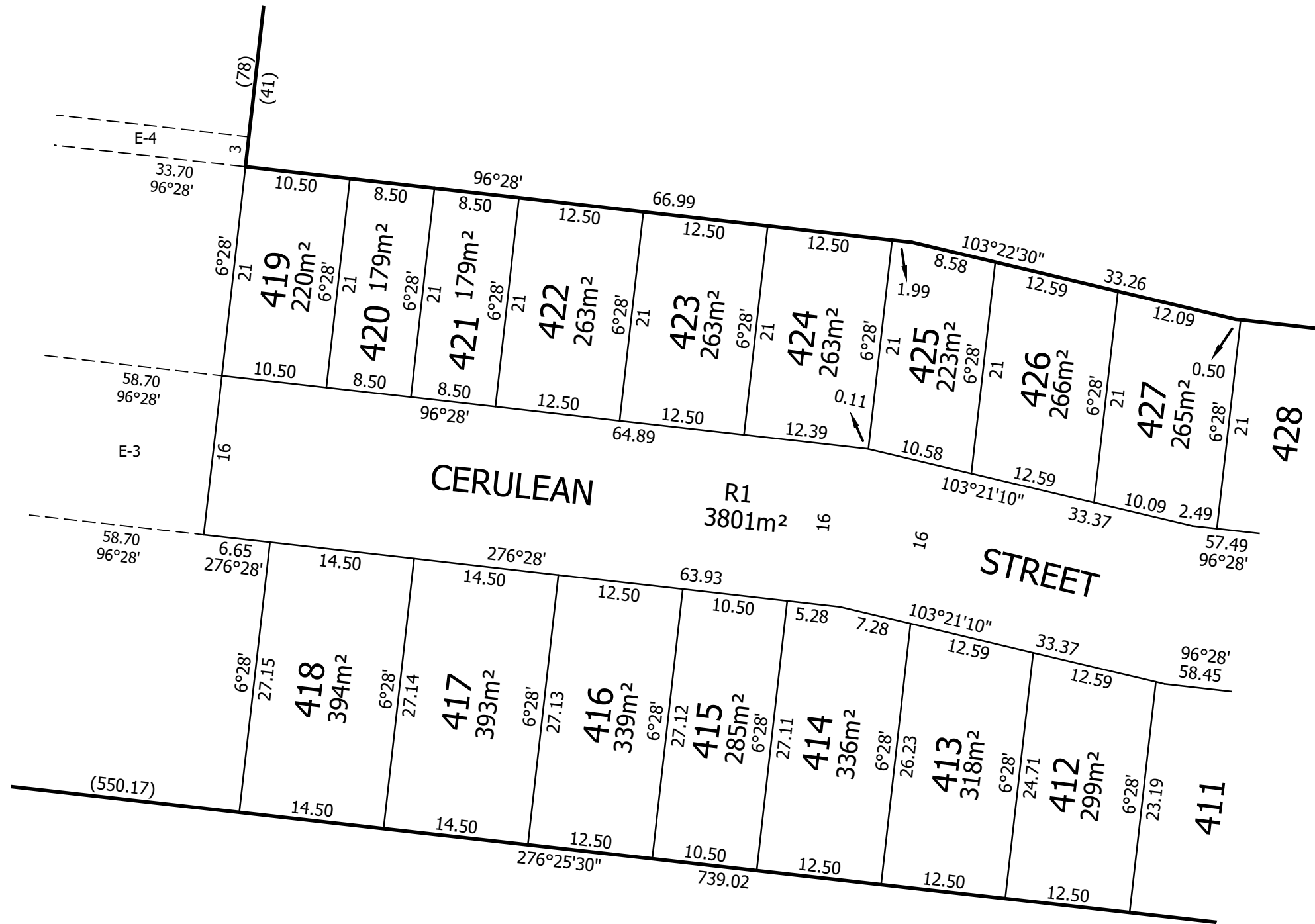
VERSION 9

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M.G.A. 2020 | ZONE 55

D
SEE SHEET 3



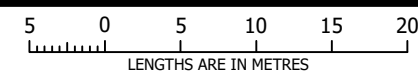
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SCALE
1:500



ORIGINAL SHEET
SIZE A3

SHEET 5

MATTHEW DUNN

VERSION 9

CREATION OF RESTRICTION A

Upon registration of this plan the following restriction is created.

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Land to benefit & to be burdened - Lots 401 to 434 (both inclusive)

Description of Restriction

Except with the written consent of the 'The Patch' assessment panel, the burdened lot shall not:

- (1) Construct or allow to be constructed any building or structure other than a building or structure that shall be constructed in accordance with the 'The Patch' Design Guidelines as amended from time to time. A copy of the Design Guidelines is available on the *Project Website* and within the Contract of Sale.
- (2) Construct or allow to be constructed any building or structure on the lot prior to 'The Patch' design assessment panel or such other entity as may be nominated by 'The Patch' design assessment panel from time to time have given its written approval to the plans and documentation prior to the commencement of works.

Expiry

This restriction ceases to have effect following after either:

- (i) The issue of an occupancy permit under the Building Act 1993 (or similar) in respect of a building on every residential lot on this plan.
- (ii) 30th June 2031.

CREATION OF RESTRICTION B

Upon registration of this plan the following restriction is created.

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Table of Land to benefit & to be burdened

Burdened Land	Benefited Land
402	401, 403
403	402, 404
404	403, 405
405	404, 406
406	405
407	408
408	407, 409
409	408, 410
410	409, 411

Table of Land to benefit & to be burdened

Burdened Land	Benefited Land
412	411, 413
415	414, 416
419	420
420	419, 421
421	420, 422
422	421, 423
423	422, 424
424	423, 425
425	424, 426

Table of Land to benefit & to be burdened

Burdened Land	Benefited Land
426	425, 427
427	426, 428
428	427, 429
429	428, 430
430	429, 431, 432
431	430, 432
432	430, 431, 433
433	432, 434
434	433

Description of Restriction

Upon registration of this plan the following restriction is created.

The registered proprietor or proprietors for the time being for any burdened lot on this plan in the table as a lot subject to the "Small Lot Housing Code (Type A)" must not build or permit to be built or remain on the lot any building or structure that has been constructed in accordance with the "Small Lot Housing Code (Type A)" unless in accordance with a Planning Permit granted to construct a dwelling on the lot.

Expiry: This restriction ceases to have effect following after either:

- (i) The issue of an occupancy permit under the Building Act 1993 (or similar) in respect of a building on every residential lot on this plan.
- (ii) 30th June 2031

CREATION OF RESTRICTION C

Upon registration of this plan the following restriction is created.

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Land to benefit & to be burdened - Lots 401 to 434 (both inclusive)

Description of Restriction

The registered proprietor or proprietors of the burdened lot shall not:

Build or erect or permit to build on a burdened lot with sideage directly adjoining any form of open space:

- (a) (i) a dwelling that is not constructed as double storey;
- (ii) a dwelling that does not include passive surveillance features such as large windows and/or balconies at the first storey level overlooking the adjoining open space
- (iii) a dwelling that does not include fencing of the front yard adjoining the open space that is not feature style, with minimum 25% transparency and has a maximum height of 1.5 metres.

Build or erect or permit to build on a burdened lot:

- (b) a dwelling or commercial building that does not incorporate dual plumbing for the use of recycled water in toilet flushing and garden watering.

Expiry

This restriction ceases to have effect following after either:

- (i) The issue of an occupancy permit under the Building Act 1993 (or similar) in respect of a building on every residential lot on this plan.
- (j) 30th June 2031.

CREATION OF RESTRICTION D

Upon registration of this plan the following restriction is created.

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

Land to benefit - Lots 401 to 434 (both inclusive) Land to be burdened - 401, 411, 413, 414 and 416 to 418 (both inclusive)

Description of Restriction

The registered proprietor or proprietors of the burdened lot shall not:

Build or erect or permit to build on a burdened lot unless:

- (a) on a corner lot, the side wall of the first level of any dwelling is constructed:
 - (i) less than 900mm from the ground level wall that faces a side street
- (b) the garage is setback at least 5 metres from the road alignment at the front of the lot
- (c) lots with a width of 10 metres or less at the lot frontage:
 - (i) contain a garage other than a single car garage where access is proposed from the front of the lot.

Expiry: This restriction ceases to have effect following after either:

- (i) The issue of an occupancy permit under the Building Act 1993 (or similar) in respect of a building on every residential lot on this plan.
- (ii) 30th June 2031.